



# GLEN INNES SEVERN COUNCIL

PO Box 61, Glen Innes, 2370

Ph: 02 6730 2350

## Development Application Guide for Domestic Dwellings

This Development Application Guide has been designed to assist you in the preparation and submission of an Application to build a dwelling. It is designed to help ensure that all relevant information is submitted so that your application can be assessed as quickly as possible.

### When do I need a Development Approval?

If you want to do building work on your property such as erecting a new building or increasing existing floor space by adding or extending, you will need to lodge an application to carry out the development. This applies in all areas of Glen Innes Severn Council local Government Area.

Applications are required so that Council may determine whether the proposal is appropriate use of the site according to its zoning, and complies with the provisions of the Environmental Planning and Assessment Act 1979. The Act also requires Council to ensure the project complies with the Building Code of Australia and has no adverse impact upon occupants of adjacent properties in the locality.

Generally speaking, ALL building work requires approval from Council.

There are two approvals required for most work and they are in the form of a **Development Consent** and a **Construction Certificate**. A Development Application is for planning approval of the project, while the Construction Certificate deals with the technical aspects.

If you do not wish to seek immediate approval for the construction work, then a Development Application only should be submitted. The Construction Certificate application may be submitted later.

Many types of straightforward residential development may be covered by a **Complying Development Consent**. If you are unsure if your project is Complying or not, please consult Council's Department of Development and Environmental Services for advice.

There are some exceptions to these rules for minor development that is exempt. Please contact Council's Department of Development and Environmental Services if you think your project may be exempt.

For simplicity, throughout this Guideline, all types of Development Approval, including Construction Certificate and Complying Development, will be referred to as a Development Application (DA).

## What information is needed to accompany an application?

### Always required:

- A Development Application and Construction Certificate or Complying Development Application form (available from Council), correctly filled out and signed by all owners of the site.
- BASIX certificate.
- 3 copies of all plans and specifications.
- Structural details endorsed by an approved Practising Structural Engineer are required for reinforced concrete slabs, footings, frames and components such as bracing and tie-down.
- Copies of relevant permits. (eg, Owner Builders permit or Home Building Compensation cover).

### Required depending on the project:

- Statement of Environmental Affects (Development Application only).
- 3 copies of A4 size plans of site and elevations for notification purposes (Development Application only).
- Separate Section 68 Local Government Act Application form for Plumbing and Drainage for developments where water supply, storm-water and sanitary drainage works are to be undertaken.
- Separate Septic Tank Application form for properties not connected to sewer.
- Bushfire assessment for bushfire prone properties (see attached details).
- Details of any proposed solid fuel heaters.
- Details of proposed termite barriers.
- Other plans and specifications such as soil tests, shadow diagrams, landscape plans and details of retaining walls may also be required.

## When do I need Owner/Builder Permits and how do I obtain them?

- If domestic building work is to be undertaken by an owner/builder and the value of the building work is estimated to exceed \$10,000, an owner/builder permit must be obtained and a copy submitted to Council before the Construction Certificate can be released.
- If the value of work exceeds \$20,000 an owner/builder course must be completed through an accredited provider prior to obtaining the owner/builder permit. The permit can be obtained from the Department of Fair Trading.
- The course can be completed prior to the lodgement of your application to Council. The permit can be applied for once the Development Application has been submitted to Council and the DA or CDC number issued.

## When is Home Owners Warranty Insurance Required?

Home Building Compensation Fund (HBCF), formerly known as home insurance warranty, is required if a licensed builder is carrying out the work and the value is over \$20,000. A copy of the Home Building Compensation (HBC) certificate must be submitted to Council prior to the issue of the Construction Certificate or Complying Development Certificate.

## What is BASIX?

The NSW Government Building Sustainability Index (BASIX) is a web based planning tool designed to assess the potential performance of residential buildings against a range of sustainability indexes.

A BASIX Certificate identifies the sustainability features required to be incorporated in the building design. These features may include sustainable design elements such as rainwater tanks, 3 star rated showerheads and taps, native landscaping, heat pump, solar or gas hot water systems, roof eaves/awnings and wall/ceiling insulation.

You need a BASIX Certificate for all new residential buildings, residential alterations and additions valued at \$50,000 or more, and pools with a capacity of 40,000 litres or more.

The applicant is required to submit a BASIX Certificate with the development application or complying development certificate application.

The BASIX commitment must be indicated on the plans e.g. water tanks, clothes lines etc.

Applicants can generate a BASIX certificate only on the NSW Department of Planning BASIX website: <http://www.basix.nsw.gov.au/information/index.jsp> For more information, phone the BASIX help line on 1300 650 908.

## What if my development is on Bush Fire Prone Land?

All developments on bushfire prone land are assessed in accordance with the NSW Government document titled "Planning for Bushfire Protection" available from [www.rfs.nsw.gov.au](http://www.rfs.nsw.gov.au).

Development applications for new dwellings or residential additions on bushfire prone land should be accompanied by a bushfire consultants report or a completed Bushfire Assessment Report which is available from Council if you wish to self assess.

This assessment will determine appropriate standards for distances to vegetation (called asset protection zones), construction standards, on site water storage and pump plus a variety of other matters.

## Other Specialist Reports?

For certain developments, Council requires other specialist reports for issues such as geotechnical, flood, shadow diagrams and site contamination. Your consultant, architect or draftsman can advise you if these reports are required.

## **What level of detail should be provided on plans accompanying a Development Application?**

IT IS ESSENTIAL FOR ALL PLANS SUBMITTED TO INDICATE A TITLE, SCALE, NORTH POINT (SITE PLAN ONLY) AND INCLUDE THE APPLICANTS NAME, ADDRESS OF THE DEVELOPMENT AND LOT/DP NUMBER.

Additional information required may include a statement of environmental effects, erosion and sediment control plan, landscaping plans and shadow diagrams.

BASIX commitments must be listed or otherwise indicated on the plans. Ensure that all BASIX commitments listed on the Certificate to be shown on the DA plans are on the plans and they all match.

Alterations and additions shall be clearly marked to distinguish existing and proposed work and shall be labeled accordingly.

All measurements shall be in SI units (metric).

Attached at the end of this Guideline are sample plans for a typical development, indicating the type of information required for Council to properly assess your project.

**PLEASE NOTE, ILLEGIBLE APPLICATIONS, OR APPLICATIONS LODGED WITH PLANS DETAILED ON GRAPH PAPER, LINED PAPER OR IN PENCIL WILL NOT BE ACCEPTED.**

Submitted plans should be A3 or larger and include:

### **1. Site plan**

This plan is to convey the design concept and layout of the proposal and details to be shown must include:

- Site coverage depicting building envelopes, car parking driveways and all other built features
- Delineation of open space areas
- Schedule of calculations including site area, site coverage, floor areas and associated floor space ratios and private open space/landscape areas.
- For residential buildings/additions to be located on bushfire prone properties - slope of site, predominate vegetation type for 140 metres surrounding structure, distance of structure to trees/vegetation once cleared, location of Asset Protection Zones and a clear delineation of site access routes.

### **2. Site survey/analysis plan**

This plan is for steep sites and sites where cut and fill is required. The plan must be prepared by a registered surveyor and include:

- Site boundaries and dimensions
- Contours or Australian Height Datum ground levels
- Natural drainage lines/water courses
- Existing services/easements
- Any geotechnical hazards or restricted development areas

- Location of existing buildings/structures
- Significant vegetation/topographical/street features

### **3. Floor plans**

The internal layout of all buildings is to be illustrated on floor plans. Floor plans are to contain dimensions and floor areas for each room, window location and other relevant internal building details (preferred scale 1:100).

### **4. Elevations and relevant cross section**

The external appearance of all sides of a building are to be illustrated on the elevations.

Details to be shown include:

- Preferred scale of 1:100
- All aspects of the building (i.e. north, south, east and west)
- Relationship of elevations to natural ground level indicating proposed cut and fill:
- Indication of materials and colours used in external finishes.
- Vertical section of building.
- Indicate height, design, construction and provision for fire safety and fire resistance (if any)
- If plans relate to alterations or additions plans should be coloured or otherwise marked to distinguish adequately the proposed alterations, rebuilding or modification.
- Height of finished floor level above finished ground level for buildings not on a slab

### **5. Structural plans for reinforced concrete/suspended slabs, steel structures etc.**

Must be drawn and endorsed by an approved Practising Structural Engineer and comply with relevant Australian Standards and Codes.

### **6. Specifications**

Specification of the building must:

- Describe the construction and materials of which the building is to be built and the method of drainage, power, sewerage and water supply
- Type of materials to be used (i.e. new or second hand etc).
- Fully comply with the Building Code of Australia.
- Details of compliance with Australian Standard 3959 – 1999 Construction of Buildings in bushfire prone areas should the residential structure be located in medium to extreme bushfire prone area.

### **Who should prepare plans to accompany the application?**

In most cases the plans submitted with the application are to be prepared by suitably qualified persons including architects, surveyors and engineers where appropriate. Inaccurate or poorly

drawn plans lead to delays in processing of the application and in some instances, may result in refusal of the proposal.

### **What is the Estimated Cost of Work?**

Estimate the value of building works. Provide the value of work as shown on the contract or quote. If an owner builder, the value needs to include an estimate of cost of materials plus a realistic valuation of labour. This estimated value is subject to check by Council.

### **What about site inspections?**

A site inspection is carried out by the relevant Building and Development Officer as part of the assessment of your application. It is important to ensure that the location of the property is adequately described and easy to locate.

### **After my application is determined, how will I be advised?**

You will be advised in writing of the determination of your application. If your application is granted consent then you will be sent a copy of the Development Consent including conditions of Consent and approved plans. Should your application be refused, a refusal notice will be sent advising you of the grounds of refusal.

### **In summary, your application package will include:**

- Application form/s for the proposed development
- BASIX Certificate
- Owner Builder Permit OR Home Building Compensation cover.
- Plans of the development
- A Local Approval (sometimes called a Section 68 Application) for all plumbing, sanitary drainage and stormwater drainage associated with your project.

### **Further enquires:**

Department of Development Planning & Regulatory Services

136 Church St

Glen Innes

Ph 02 6730 2350

#### **PLEASE NOTE:**

Building and engineering design is specialised and complex. Council officers can provide basic guidance and advice on your proposal, however detailed site investigations, research and complex technical advice is beyond the services provided by Council.

You may consider employing a consultant who can assist in preparing your application. Council officers cannot recommend consultants.

Example plans are included on the following pages.

# Proposed Residence at:

For:

## SCHEDULE OF DRAWINGS

DWG No.	TITLE
01	SCHEDULE & BASIX COMMITMENTS
02	SITE WORKS & DRAINAGE PLAN
03	CONCEPT LANDSCAPE PLAN
04	FLOOR PLAN
05	ELEVATIONS - NORTH & SOUTH
06	ELEVATIONS - EAST & WEST
07	SECTION & SPECIFICATION SUMMARY

## SUMMARY OF BASIX COMMITMENTS

Certificate Number:	Dated:		
This is a summary of the BASIX Commitments as detailed in the Basix Certificate. Refer to the BASIX Certificate for Complete Details. For definitions refer to basix.nsw.gov.au			
<b>Project Type</b>			
Separate Dwelling House	Number of bedrooms - 3		
<b>Site Details</b>			
Site Area - 2,023.45 sq.m	This Basix Certificate was done for the proposed residence only, note rainwater tank to shed separate.		
Roof Area - 227.85 sq.m			
Area of Garden and Lawn - 300.0 sq.m			
<b>Water Commitments (Note to Plumber)</b>			
Fixtures:			
3 Star Shower Heads	YES	3 Star Toilets	YES
3 Star Kitchen Taps	YES	3 Star Basin Taps	YES
Alternative Water:			
Rainwater Tank Size (L)	45,000	Collected from Roof Area (m2)	227.85 sq.m
Rainwater Tank Connected to:			
All Toilets	YES	All Indoor Taps	YES
One Outdoor Tap	YES	Hot Water System	YES
<b>Thermal Comfort Commitments (Note to Builder)</b>			
Construction:			
External Walls - Brick Veneer	Additional Insulation Required: R1.86 Batts & Foil (R2.40 Construction Combined)		
Ceiling and Roof	Ceiling: R2.55 (up); Roof: foil backed blanket (55mm)		
Windows - Standard Aluminium Framing, Single Clear to all windows.	Windows - Obscure Glazed to Bath & Ens, Double Glazing is optional to all windows.		
Sliding Doors - Standard Aluminium, Single Clear Sunroom & Lounge.	External Doors - Timber Framing, Frosted Glass to Kitchen & Laundry.		
External Doors - Clear Glass to Study, Double Glazing is optional to all doors.			
<b>Energy Commitments (Note to Builder)</b>			
Hot Water	Rheem Integrity 26-LP-Gas-Instantaneous	5-Star	
Cooling System	Living	No Active System	N/A
Bedrooms	No Active System	N/A	
Heating System	Living	No Active System	N/A
Bedrooms	No Active System	N/A	
Note: At least 2 Gas Bayonet Heating points are being provided to the living areas only.			
Ventilation	Bathroom	Individual fan, not ducted	Manual On/Off
	Kitchen	Individual fan, not ducted	Manual On/Off
	Laundry	Natural ventilation	N/A
Natural Lighting	Window/Skylight in Kitchen		YES
	Window/Skylight in Bathroom/Toilets		YES   1   2
Artificial Lighting	Number of Bedrooms	4	Dedicated YES
	Number of Living/Dining Rooms	2	Dedicated YES
(rooms to be primarily lit by fluorescent or LED lights)	Kitchen	YES	Dedicated YES
	All Bathrooms/Toilets	YES	Dedicated YES
	Laundry	YES	Dedicated YES
	All Hallways	YES	Dedicated YES
<b>Other Commitments</b>			
Outdoor Clothes Line	YES	Ventilated refrigerator space	YES
Stove/Oven	Gas Cooktop and Electric Oven		

These plans are subject to the land planning, copyright and any other restrictive provisions of the Building Code of Australia, Statewide Assessment, and Local Government Requirements. Do not make changes. If you do, you are responsible for obtaining the necessary approvals.



FOR ALL YOUR QUALITY BUILDING DESIGN, DRAFTING & CONSULTING SERVICES.

PROJECT: Proposed Single Storey Residence  
CLIENT:  
ADDRESS:

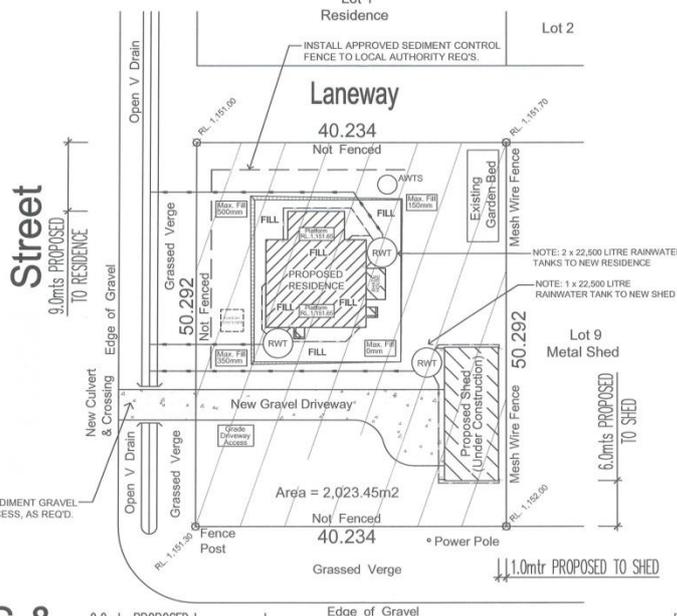
Sheet: A3

COUNCIL: Glen Innes Severn  
JOB No:  
DRAWN:

Custom Residence SCALE: NTS SHEET: 1 of 12  
DATE:  
CHECKED:

Note: Council to refer to separate approval for AWTS details and disposal area.

NOTE: REFER TO SHEET 1 FOR BASIX COMMITMENTS.

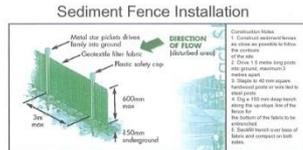


**LEGEND**

- RAINWATER TANK
- RAINWATER TANK OVERFLOW LINE
- DP

**NOTE**  
All surface water drainage and Rainwater Storage Tank overflow to be connected to the Open V Drain.

Note: All downpipes are to be connected to the rainwater tanks, as shown.  
Further to this, the rainwater tank overflows will be connected into the Open V Drain located toward the front of the site, as shown.  
Note: Roof area from residence to be used for rainwater collection will be 227.85m2.



## SITE WORKS & DRAINAGE PLAN

Note: Builder to verify all dimensions and levels prior to and during construction works.  
Note: Builder to provide on-site temporary site fencing to building platform, as required.  
Note: Surveyor to check levels on site to set finished floor level as required, prior to works commencing.

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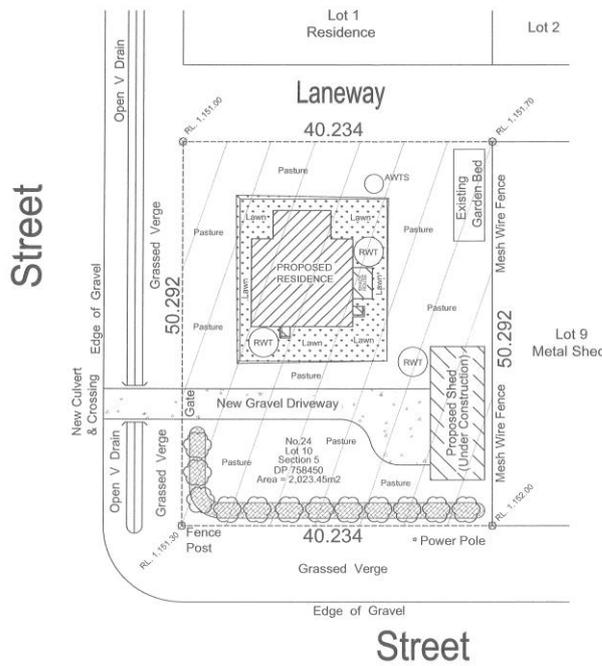
PROJECT: Proposed Single Storey Residence  
CLIENT:  
ADDRESS:

Sheet: A3

COUNCIL: Glen Innes Severn  
JOB No: 2009037  
DRAWN:

Custom Residence SCALE: 1:400 SHEET: 2 of 12  
DATE: 11/11/09  
CHECKED:

Note: Proposed Gravel Driveway shown is diagrammatic only and maybe be changed to suit the owner's requirements.



NOTE: REFER TO SHEET 1 FOR BASIX COMMITMENTS.

Note: Owner to provide all driveway and path areas, landscaped garden beds and lawn areas and also an external downpipe line all to comply with the BASIX Certificate.  
The Owner is to provide a new letter box to the Campbell Street driveway.  
Note: Refer above for the lawn and landscaped garden areas for BASIX Commitments.

Note: All downpipes are to be connected to the rainwater tanks, as shown.  
Further to this, the rainwater tank overflows will be connected into the Open V Drain located toward the front of the site, as shown.  
Note: Roof area from residence to be used for rainwater collection will be 227.85m<sup>2</sup>.

SCHEDULE OF AREAS	
OPEN LANDSCAPED AREA	
NEW SOFT LANDSCAPED AREA - 50.00m <sup>2</sup>	
LAWN AREA - 250.00m <sup>2</sup>	
PASTURE AREA - 1,018.00m <sup>2</sup>	
TOTAL LANDSCAPED AREA - 1,318.00m <sup>2</sup> - 143.26sq	
SITE AREA - 2,023.45m <sup>2</sup> - 219.94sq	
Driveway & Paths - 180.00m <sup>2</sup> - 19.56sq	
Cross-Over - 40.00m <sup>2</sup> - 4.35sq	

LANDSCAPING LEGEND	
	Selected Low Maintenance Screen Planting (By Owner)
	New Lawn Areas (By Owner)
	Decorative Pables/Grazed Areas (By Owner)
	Landscaped Garden Beds (By Owner)
	1800mm High Wire Mesh Fencing & Metal Gates (By Owner)
	2 x 22,500 Litre Rainwater Tanks to Residence (By Builder) (Collection Area to be all of the roof area = 227.85m <sup>2</sup> )

NOTE: Colours Line to have a minimum of 20 metres of fire by choice (well marked) of road type. Location to be confirmed.

# CONCEPT LANDSCAPE PLAN

Note: Builder is to use low maintenance / indigenous variety plants / trees subject to availability of species indicated & to comply with the BASIX Certificate.

These plans are subject to the BASIX Certificate. The BASIX Certificate is a legal requirement under the Environmental Planning and Assessment Act 1979. The BASIX Certificate is a legal requirement under the Environmental Planning and Assessment Act 1979. The BASIX Certificate is a legal requirement under the Environmental Planning and Assessment Act 1979.

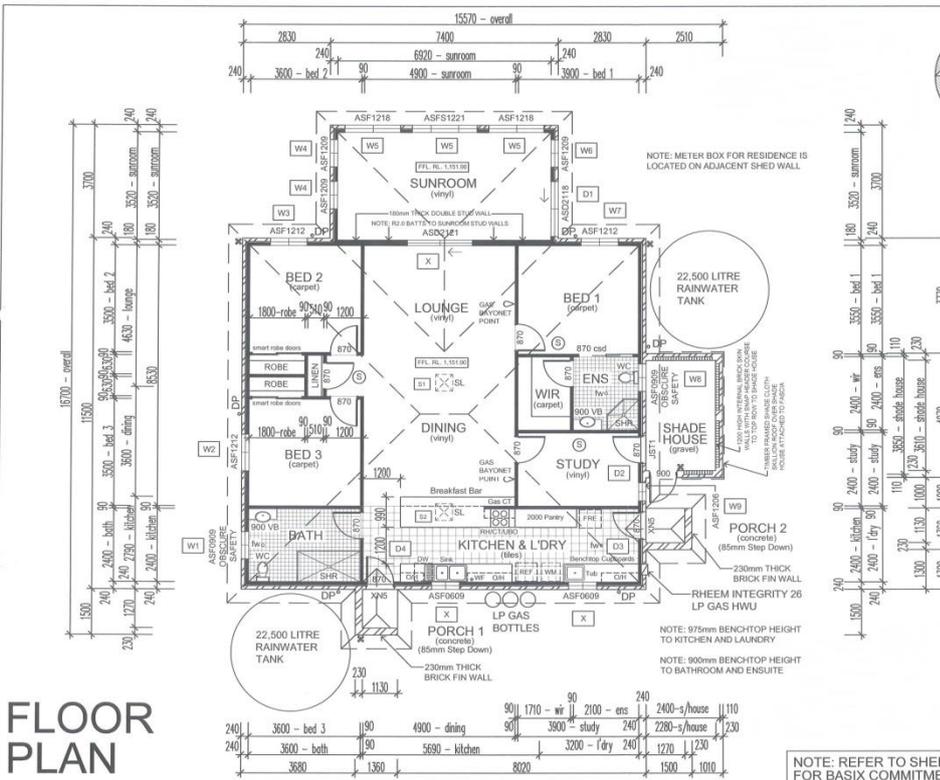


FOR ALL YOUR QUALITY BUILDING DESIGN, DRAFTING & CONSULTING SERVICES.

PROJECT: Proposed Single Storey Residence  
CLIENT:  
ADDRESS:

Sheet: **A3**

COUNCIL: Glen Innes Severn  
JOB No: 2009037  
DRAWN:  
Custome Residence  
SCALE: 1:400  
DATE:  
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SHEET: 3 of 12



Legend:	
TBC	Timber Beam Over
DP	Downpipe
MCJ	Masonry Control Joint
MB	Meter Box
HWU	Hot Water Unit
CH	Ceiling Height
FW	Floor Waste
SHR	Shower
WC	Water Closet
VB	Vanity Basin
TUB	Laundry Tub
WM	Washing Machine Space
CT	Cook Top (Gas)
RH	Range Hood
UBO	Under Bench Oven
O/H	Overhead Cupboards
WF	Water Filter
DW	Dishwasher
REF	Refrigerator Space
W	Window or Door not used in BASIX Certificate
W1	Window Number used in BASIX Certificate
D1	Door Number used in BASIX Certificate
S1	Skylight Number used in BASIX Certificate
E	External Tap
SD	Smoke Detector

SMOKE DETECTORS TO CEILING TO BE HARDWIRED IN ACCORDANCE WITH PART 5.1.7 OF THE BUILDING CODE OF AUSTRALIA.  
PROVIDE A NET AREA WATER PROOFING SYSTEM TO BATHROOM ENSUITE AND LAUNDRY IN ACCORDANCE WITH PART 5.1.7 OF THE BUILDING CODE OF AUSTRALIA.  
PROVIDE MECHANICAL VENTILATION TO BATHROOM AND ENSUITE IN ACCORDANCE WITH THE RCA R101 R101A ALL THE OTHER REFS.  
NOTE: HOT WATER UNIT SHALL BE INSTALLED WITH A TEMPERATURE LIMITING VALVE AND IS TO COMPLY WITH AS 5900:1991.  
PROVIDE LEFT OFF HINGES TO WC DOORS IN ACCORDANCE WITH THE RICKA LOCAL AUTHORITY REQUIREMENTS.  
LOCATION OF HOT WATER UNIT, LP GAS BOTTLES, & ELECTRICAL METER BOX TO BE DETERMINED ON SITE BY BUILDER & APPROPRIATE AUTHORITY.  
PLUMBER TO VERIFY WITH BUILDER THE LOCATION OF ALL DOWNPIPES, RAINWATER TANKS & OTHER SERVICES PRIOR TO DURING CONSTRUCTION WORKS.  
FRAME & TRUSS MANUFACTURER TO CHECK & VERIFY ALL DIMENSIONS PRIOR TO MANUFACTURING & ASSEMBLY.

SCHEDULE OF AREAS	
LIVING - 149.77m <sup>2</sup>	
PORCH 1 - 2.04m <sup>2</sup>	
PORCH 2 - 2.04m <sup>2</sup>	
SUNROOM - 27.78m <sup>2</sup>	
SHADE HOUSE - 10.21m <sup>2</sup>	
TOTAL FLOOR AREA - 191.85m <sup>2</sup> - 20.85sq	
TOTAL ROOF AREA - 227.85m <sup>2</sup> - 24.77sq	
WINDOW GLAZING AREA - 28.22m <sup>2</sup> - 3.06sq	
CONDITIONED FLOOR AREA - 121.02m <sup>2</sup> - 13.15sq	
UNCONDITIONED FLOOR AREA - 14.0m <sup>2</sup> - 1.52sq	

# FLOOR PLAN

Note: Builder to verify all dimensions and levels prior to and during construction works.

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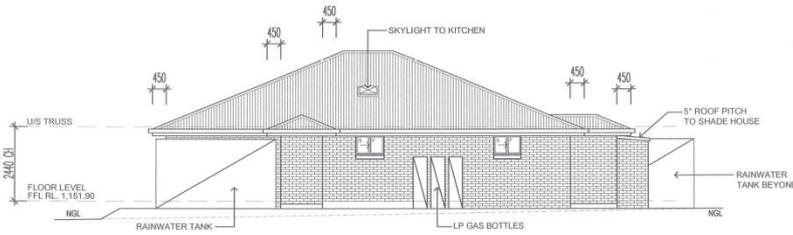
PROJECT: Proposed Single Storey Residence  
CLIENT:  
ADDRESS:

Sheet: **A3**

COUNCIL: Glen Innes Severn  
JOB No: 2009037  
DRAWN:  
Custome Residence  
SCALE: 1:100  
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SHEET: 4 of 12



NORTH ELEVATION - SIDE



SOUTH ELEVATION - SIDE

**External Finishes:**

- Selected Face Brickwork
- Selected Colorbond Roof Sheeting
- Selected Timber Framing & Shade Cloth to Shade House Roof
- Selected 550x550 Skylights to Lounge and Kitchen areas
- Selected Colorbond Steel Fascia & Guttering
- Selected PVC Downpipes to Water Storage Tanks
- Selected FC to Soffit Lining
- Selected Colour Powdercoated Aluminium Framed Windows (Double Glazing is Optional)
- Selected Colour Powdercoated Aluminium Sliding Glass Doors (Double Glazing is Optional)
- Selected Timber & Glazed Entry Doors (Double Glazed Optional)
- 2 x 22,500 Litre Rainwater Storage Tanks as shown

NOTE: REFER TO SHEET 1 FOR BASIX COMMITMENTS.

NOTES:  
Install vertical masonry control joints in accordance with BCA Volume 2 Cl. 3.3.1.8.

# ELEVATIONS

Note: Builder to verify all dimensions and levels prior to and during construction works.

These plans are subject to the land grantee's copyright and are the exclusive property of [C]. No unauthorised copying in part or full without written consent is permitted.

Builder to verify all levels, heights and details prior to the build commencing. Contact the CDA with any questions. Locate all electrical, telephone and other services. Check all water and sewerage work meets all standards and is approved by the Council/Health Officer. All materials and methods of construction are to comply with the Building Code of Australia, Queensland Association of Architects Codes and Local Government Requirements. Do not make drawings. Figure dimensions take precedence over scaled sizes.



FOR ALL YOUR QUALITY BUILDING DESIGN, DRAFTING & CONSULTING SERVICES.

PROJECT: Proposed Single Storey Residence

Sheet: **A3**

COUNCIL: Glen Innes Severn

Custom Residence

CLIENT:

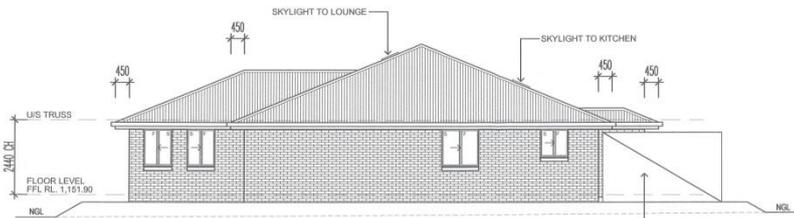
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SCALE: 1:100 SHEET: 5 of 12

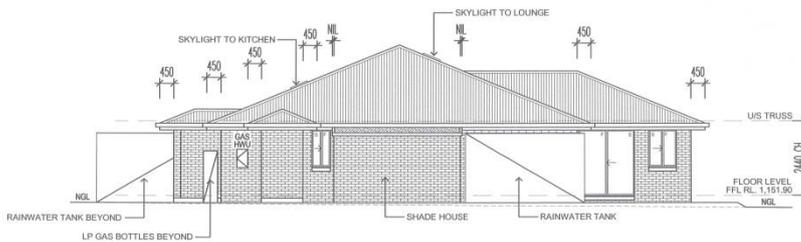
ADDRESS:

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WEST ELEVATION - FRONT



EAST ELEVATION - REAR

**External Finishes:**

- Selected Face Brickwork
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COUNCIL: Glen Innes Severn

Custom Residence

CLIENT:

JOB No: 2009037

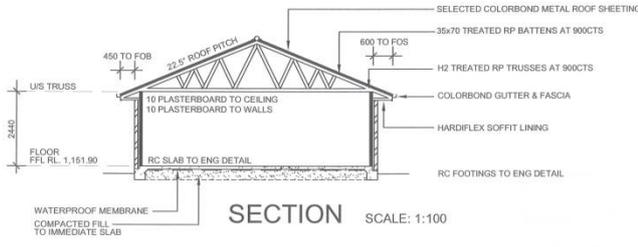
SCALE: 1:100 SHEET: 6 of 12

ADDRESS:

DRAWN:

CHECKED:

STANDARDS SUMMARY	SPECIFICATION SUMMARY
<b>CONCRETE</b> - To AS2870.1-1996 and AS3600-2001. <b>TERMITE PROTECTION</b> - To comply with the provisions of Part 3.1.3 of the BCA and with AS3660.1-2000. <b>TIMBER</b> - To AS1684.2 - 2006. <b>WET AREAS</b> - To comply with the provisions of Part 3.8.1 of the BCA & to relevant Australian Standards. <b>INSULATION</b> - Bulk Insulation to AS3999-1992, Sarking to AS4200.1-1994. <b>ROOFING</b> - Metal to comply with AS1562.1 - 1992, plumbing to AS3500-2003. <b>GLASS</b> - All glazing to conform to AS1288-2006.	<b>BRICKWORK:</b> 240mm SELECTED FACE BRICK VENEER CONSTRUCTION TO ENTIRE RESIDENCE, SHADE HOUSE AND FIN WALLS. <b>EXTERNAL CLADDING:</b> SELECTED HORIZONTAL WEATHERBOARD CLADDING TO INFILL PANELS ABOVE EXTERNAL WINDOWS & DOORS, IF REQUIRED. <b>SOFFIT LINING:</b> F.C. SHEETING TO ALL EAVES AND COVERED AREAS, AS REQUIRED. <b>FLOORING:</b> REINFORCED CONCRETE SLAB TO RESIDENCE, PORCH ES & SUNROOM ALL TO ENG'S DESIGN & DETAIL. GRAVEL FLOOR TO SHADE HOUSE. <b>ROOF COVERING:</b> SELECTED COLORBOND CUSTOM-ORB ROOF SHEETING OVER ANTI-CON BLANKET INSULATION TO ENTIRE RESIDENCE. TIMBER FRAMED SHADE CLOTHED ROOF OVER SHADE HOUSE. <b>INSULATION:</b> R1.86 BATTS & WALL WRAP TO ALL EXTERNAL WALLS OF RESIDENCE (NOTE: COMBINED VALUE MIN. R2.40). R2.55 BATTS TO ALL CEILING AREAS & SUNROOM, EXC'S PORCH 1, PORCH 2 & SHADE HOUSE. <b>INTERNAL LININGS:</b> 10mm GYPSUM PLASTERBOARD CEILING & WALL LININGS WITH GYPSUM 90/90mm COVE CORNICE AS REQUIRED (VILLABOARD OR EQUIVALENT LINING TO WET AREAS). <b>INTERNAL FIXINGS:</b> (MAPLE OR PINE) SKIRTING - 67x18 PROFILE: PENCIL ROUND. ARCHITRAVE - 67x18 PROFILE: PENCIL ROUND. <b>WINDOWS &amp; DOORS:</b> (Trend Windows / Humes Doors) IMPROVED ALUMINIUM FRAMED POWDERCOATED FINISH SLIDING WINDOWS WITH ALUMINIUM FLYSCREENS TO ALL OPENABLE SASHES & SECURITY SCREENS TO SLIDING & ENTRY DOORS (BY OWNER). HUMES INS ENTRY DOORS TO KITCHEN & LAUNDRY DOORS, WITH A JST1 DOOR TO THE STUDY AND 'FLUSH' OR 'DECORATIVE' PANEL INTERNAL DOORS. <b>GUTTER, FASCIA &amp; DOWNPIPES:</b> 115mm COLORBOND HI-FRONT QUAD GUTTERS. 105mm COLORBOND FASCIAS. 90mmØ PVC DOWNPIPES. <b>HOT WATER SYSTEM:</b> CONNECT TO A NEW LP GAS INSTANTANEOUS HOT WATER SYSTEM, AS SHOWN ON THE PLANS. <b>MECHANICAL VENTILATION:</b> PROVIDE MECHANICAL VENTILATION TO THE BATHROOM & ENSUITE, AS MARKED ON THE ELECTRICAL PLAN.



NOTE: REFER TO SHEET 1 FOR BASIX COMMITMENTS.

# SECTION & SPECIFICATION SUMMARY

Note: Builder to verify all dimensions and levels prior to and during construction works.

NOTES:  
Install vertical masonry control joints in accordance with BCA Volume 2 Cl. 3.3.1.8.

These plans are subject to the best planning, copyright and are the exclusive property of [Logo]. Builder is to verify all levels, heights and details prior to the start of construction. Contact the Office with any questions. Levels of electrical, telephone cables and sewerage. Detail of doors and windows to be shown. All materials and methods of construction are to comply with the Building Code of Australia, Australian Standards, Australian Codes and Local Government Requirements. Do not make alterations. Piped dimensions take precedence over scaled ones.

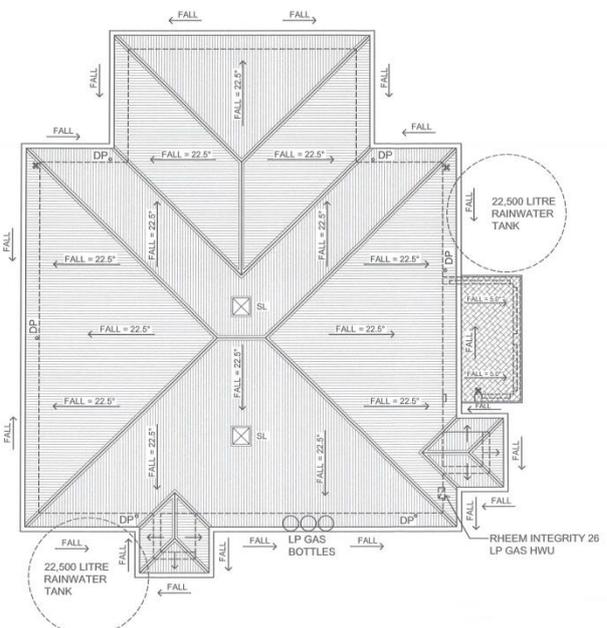
**PROJECT:** Proposed Single Storey Residence  
**CLIENT:**  
**ADDRESS:**

**Sheet:** A3  
**COUNCIL:** Glen Innes Severn  
**JOB No:** 2009037  
**DRAWN:**

**Custom Residence**  
**SCALE:** 1:100  
**DATE:**  
**CHECKED:**  
**SHEET:** 7 of 12

Note: Areas and calculations shown on this plan are from exact measurements, with no allowance being made for waste.  
 Note: Provide 550 x 550 Skylights to Lounge and Kitchen, as shown.

NOTE: REFER TO SHEET 1 FOR BASIX COMMITMENTS.



Roofing Calculations
Roof Sheetings = 227.85 Square Metres
Rolltop Ridge Capping = 65.90 Lineal Metres
Valleys = 19.70 Lineal Metres
Guttering = 67.40 Lineal Metres
Fascia = 66.20 Lineal Metres
Shade Cloth = 8.50 Square Metres
Barge Capping = 8.20 Lineal Metres (Shade House)
Downpipes to Rainwater Tanks = 6 off
Downpipes to Street K & G = Nil

# ROOF PLAN

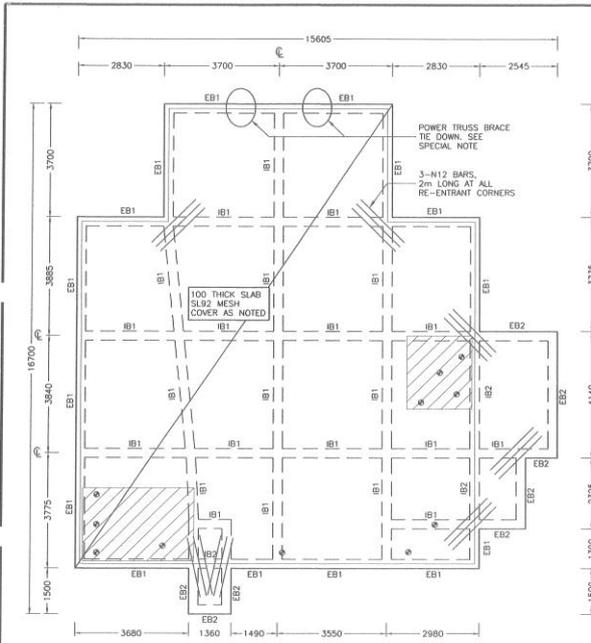
Note: Builder to verify all dimensions and levels prior to and during construction works.

These plans are subject to the best planning, copyright and are the exclusive property of [Logo]. Builder is to verify all levels, heights and details prior to the start of construction. Contact the Office with any questions. Levels of electrical, telephone cables and sewerage. Detail of doors and windows to be shown. All materials and methods of construction are to comply with the Building Code of Australia, Australian Standards, Australian Codes and Local Government Requirements. Do not make alterations. Piped dimensions take precedence over scaled ones.

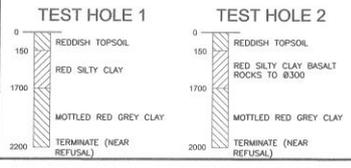
**PROJECT:** Proposed Single Storey Residence  
**CLIENT:**  
**ADDRESS:**

**Sheet:** A3  
**COUNCIL:** Glen Innes Severn  
**JOB No:** 2009037  
**DRAWN:**

**Custom Residence**  
**SCALE:** 1:100  
**DATE:**  
**CHECKED:**  
**SHEET:** 9 of 12



**FOOTING LAYOUT**  
SCALE 1:100



- SITE PREPARATION:**
1. STRIP AND REMOVE TOPSOIL TO A DEPTH OF 300mm FROM SLAB ON GROUND AREAS.
  2. PLACE & COMPACT MIN 600mm GRANULAR CONTROLLED FILL IN MAX 200mm LAYERS.
  3. COMPACTION TESTS: 2 TESTS AT FINISHED SURFACE AND 1 AT EACH 400mm DEPTH OF FILL (LOCATIONS RANDOMLY SELECTED). WHERE TOTAL FILL DEPTH DOES NOT EXCEED 400mm 2 TESTS AT FINISHED SURFACE ONLY.
  4. WATER RUN-OFF SHALL BE COLLECTED AND CHANNLED AWAY FROM THE ROUGE DURING CONSTRUCTION.
  5. EXCAVATIONS NEAR THE EDGE OF THE FOOTING SYSTEM SHALL BE BACKFILLED WITH CLAY IN SUCH A WAY AS TO PREVENT ACCESS OF WATER TO THE FOUNDATION. POROUS MATERIAL SUCH AS SAND, GRAVEL OR BUILDING RUBBLE SHOULD NOT BE USED.
  6. TRENCHES SHALL BE KEPT FREE OF WATER AND PONDING OF WATER IN TRENCHES PREVENTED FOR PROLONGED PERIODS.
  7. SHAPE FINISHED SITE, TO SHED & DRAIN WATER AWAY FROM FOUNDATIONS.
  8. REFER TO CONSTRUCTION NOTES ON SHT 4

- PLUMBING REQUIREMENTS:**
1. APPROXIMATE LOCATIONS FOR PLUMBING ARE SHOWN. PLUMBER TO ENSURE ALL SERVICES ARE ROUTED TO AVOID RUNNING ALONG TRENCHES.
  2. PENETRATIONS OF THE EDGE BEAMS SHALL BE AVOIDED, BUT WHERE NECESSARY SHALL BE SLEEVED TO ALLOW FOR MOVEMENT. HORIZONTAL PENETRATIONS SHALL BE LAGGED WITH 40mm THICK CLOSED-CELL POLYETHYLENE LAGGING.
  3. ALL STORM WATER DRAINS AND WASTE DRAINS SHALL HAVE A FLEXIBLE CONNECTION. PIPES WITHIN 3m OF THE BUILDING SHALL BE ARTICULATED TO ACCOMMODATE GROUND MOVEMENTS WITHOUT LEAKAGE.
  4. PLUMBING AND DRAINAGE LINES RUNNING UNDER THE SLAB SHALL BE AVOIDED WHERE PRACTICABLE.

**SPECIAL NOTE:** POWER TRUSS (PT) BRACING SPECIFIED ON TIEDOWN & BRACING SCHEDULE (SHT 3) REQUIRES SPECIFIC HOLD DOWN BOLT HARDWARE TO BE INSTALLED DURING POUR. REFER TO MANUFACTURERS SPECIFICATIONS FOR SUPPLY AND INSTALLATION. FOR INFORMATION REGARDING P.T. BRACES PLEASE REFER TO WEBSITE: WWW.POWERTRUSS.COM.AU

SITE CONDITIONS	
LOCAL GOVERNMENT AREA	GLEN INNES SEVERN COUNCIL
SITE CLASSIFICATION	F (EXTREMELY REACTIVE CLAY)
TYPE OF CONSTRUCTION	ARTICULATED MASONRY VENEER
CLASSIFIER	LEGS
FOUNDATIONS	
COMPACTION CRITERIA	95% TO AS STD
CONCRETE STRENGTH	25Mpa
SLAB BEAMS REINFORCING	3-L12TM
SLAB REINFORCING	SL92
WATERPROOF MEMBRANE	0.2mm
COVER: TO SOE	50mm MINIMUM
TO EXTERNAL SURFACE	50mm MINIMUM
TO INTERNAL SURFACE	30mm MINIMUM
TO SDIL WITH MEMBRANE	30mm MINIMUM
SLAB MESH TO BE LOCATED TOWARDS THE TOP BUT WITHIN THE RANGES GIVEN	

**DESIGN COMPLIANCE CERTIFICATE**  
ISSUED UNDER THE BUILDING CODE OF AUSTRALIA, 2008 EVIDENCE OF DURABILITY 1.2.2(a)(ii)

**BUILDING DETAILS**  
LOCATION: FOOTINGS FOR PROPOSED DWELLING  
USE: RESIDENCE  
BCA CLASS: 1a

**CERTIFICATION**  
I, \_\_\_\_\_ CERTIFY THAT:  
a) THE STRUCTURAL COMPONENTS OF THE WORKS LISTED BELOW HAVE BEEN DESIGNED IN ACCORDANCE WITH THE STANDARDS AS NOTED.  
b) THE INFORMATION CONTAINED IS TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE AND ACCURATE.

**COMPONENTS INCLUDED IN CERTIFICATION**  
FOUNDATIONS  
CONCRETE STRUCTURES  
TIEDOWN & BRACING

**DOCUMENTATION COVERED BY CERTIFICATION**  
DRAWING SET 1755, SHEETS 01 TO 04  
ISSUE A - ISSUE FOR COUNCIL APPROVAL, DATED -/12/09

**RELEVANT SPECS, CODES, PUBLICATIONS**  
BUILDING CODE OF AUSTRALIA BCA 2007  
AS/NZS 1170 - STRUCTURAL DESIGN ACTIONS  
AS 870 - RESIDENTIAL SLABS AND FOOTINGS - CONSTRUCTION  
AS 3600 - CONCRETE STRUCTURES  
AS 3700 - MASONRY STRUCTURES

**COMPETENT PERSON**  
COMPANY NAME: \_\_\_\_\_  
NAME OF PERSON CERTIFYING THE DESIGN: \_\_\_\_\_  
DATE: \_\_\_\_\_  
QUALIFICATIONS: BE CHIL, MEAUST

*Signed by Engineer*  
SIGNATURE: \_\_\_\_\_

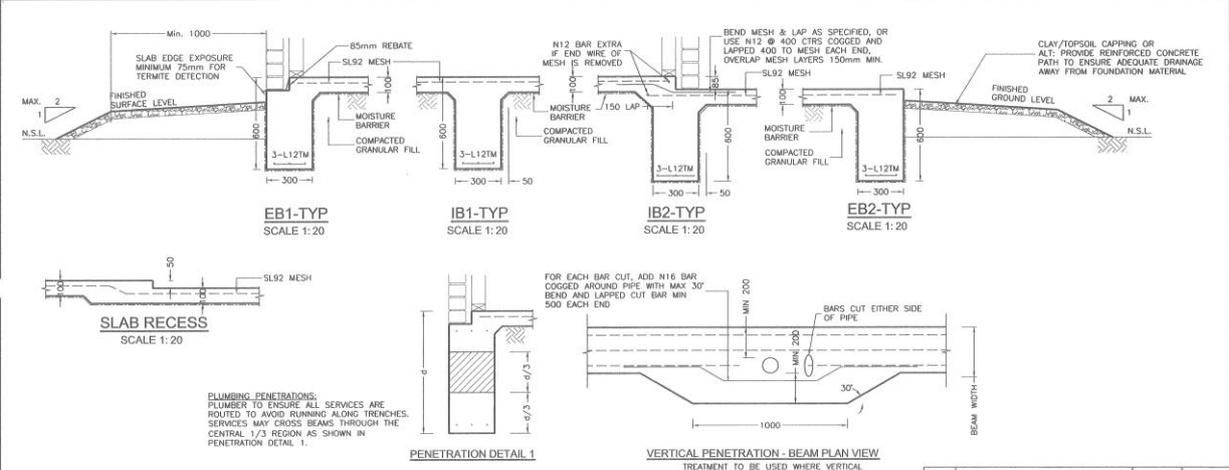
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No.	AMENDMENT	AUTH	DATE

**CLIENT**

**PROJECT**  
FOOTING DESIGN  
FOR PROPOSED RESIDENCE

**SCALE**  
AS SHOWN AS3 ORIGINAL

**DESIGNED:** \_\_\_\_\_ **SHEET No:** 1 OF 4  
**DRAWN:** \_\_\_\_\_  
**APPROVED:** \_\_\_\_\_ **FILE No:** \_\_\_\_\_  
**FIRST ISSUED:** \_\_\_\_\_



**PLUMBING PENETRATION DETAILS**  
SCALE 1:20

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No.	AMENDMENT	AUTH	DATE

**CLIENT**

**PROJECT**  
FOOTING DESIGN  
FOR PROPOSED RESIDENCE

**SCALE**  
AS SHOWN AS3 ORIGINAL

**DESIGNED:** \_\_\_\_\_ **SHEET No:** 2 OF 4  
**DRAWN:** \_\_\_\_\_  
**APPROVED:** \_\_\_\_\_ **FILE No:** \_\_\_\_\_  
**FIRST ISSUED:** \_\_\_\_\_

**TIE-DOWN**

All tie down brags are in addition to nominal fixings.  
 All references are to AS 1684.2 Alternatives may be selected from relevant tables in AS 1684.2:1999

Wind Classification:	NZ	Batten Spacing (m):	0.9
Roof Type:	Street	Truss/Purlin Spacing (m):	0.9

CONNECTION	ULW	Pressure (kPa)	Fixing (mm)	Uplift (kN)	Joint Group	Tie-Down Detail	Strength (kN)	Reference
Buttens to Rafter/Trusses (edge)	0.90	1.84	0.90	1.49	J04	275x35 Dof Shank nails, 38x75 Batten	1.7	T9.25(d)
Buttens to Rafter/Trusses (general)	0.90	0.99	0.90	0.79	J04	275x35 Dof Shank nails, 38x75 Batten	1.3	T9.25(d)
Trusses to Top Plate	5.00	0.74	0.90	4.13	J04	2 Framing anchors 45.8mm $\phi$ nail and anchor (Nails 1)	5.9	T9.21(c)
Top/Bottom Plates to Studs	6.00	0.74	1.80	8.26	J04	30x8 G strip 82.9mm $\phi$ nail and strip	8.4	T9.19(d)
Bottom Plate to Sill	6.00	0.45	1.80	4.69	J04	M10 bolt thru bottom plate into sill (1.8 cm)	15	T9.19(d)

**BRACING**

Bracing to be positioned in building as per requirements of AS 1684.2 (Clauses 8.3.6.6 & 8.3.6.7)  
 Bracing type coded refers to AS 1684.2 (Table 8.16)  
 Alternatives may be selected from Table 8.16 to achieve required bracing lines.

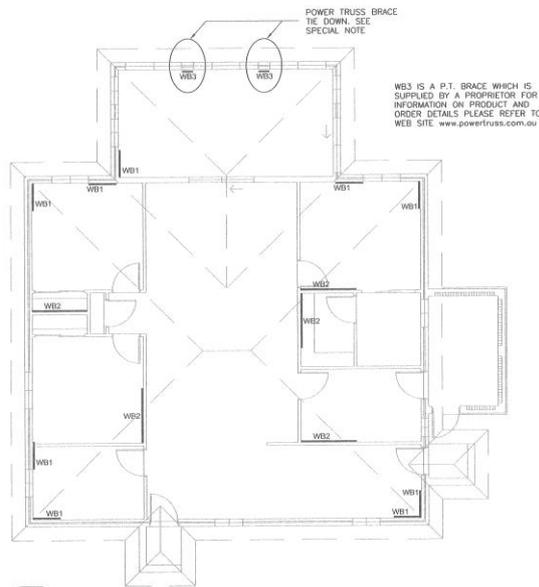
Wind Classification:	NZ	Wall Height:	2.435m
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Wind Direction	Area of Elevation (Sq. m)	Wind Pressure (kPa)	Flanking Force (kN)	Nominal Bracing Force (kN)	Bracing Force (kN)	Bracing Unit Specification	Plan Label	Rating (kN/m)	No. of Braces	Length (m)	Brace Capacity (kN)	Post Height (m)	Bracing Wall Uplift (kN)	Bottom Plate Fixing
W1	38.43	0.77	29.59	0.00	23.58	Ply Brace Method B Diagonal Strip Braces	WB1	6.0	5	0.9	27.0	T 8.10(b)	14.0	M10 Hex Bolt
							WB2	3.0	2	1.8	18.0	T 8.10(b)	7.2	M10 Hex Bolt
W2	42.34	0.73	30.91	0.00	30.91	Ply Brace Method B Diagonal Strip Braces P.T. Brace	WB1	6.0	4	0.9	21.6	T 8.10(b)	14.0	M10 Hex Bolt
							WB2	3.0	3	1.8	16.2	T 8.10(b)	7.2	M10 Hex Bolt
							WB3	12.0	2	0.90	9.0	S075		Manufacture

Nominal bracing capacity based on internal walls fixed both sides, external walls fixed on one side with sheet materials nominally fixed to floor & roof frame (Ref AS 1684.2 Q 8.3.6.2)  
 For information regarding P.T. Braces please refer to website www.powertruss.com.au

\* No. of braces shown represent minimum required for total bracing force. Additional braces or other combination of lesser capacity braces may be substituted provided the distribution requirements of AS 1684.2, Clauses 8.3.6.6 & 8.3.6.7 are met, (i.e. max distance between braces = 9m)

\*\*\* Internal walls used for required bracing are to be connected to truss bottom chord in accordance with AS 1684.



WB3 IS A P.T. BRACE WHICH IS SUPPLIED BY A PROPRIETOR FOR INFORMATION ON PRODUCT AND ORDER DETAILS PLEASE REFER TO WEB SITE: www.powertruss.com.au

**BRACING PLAN**  
 SCALE 1:100

A	ISSUED FOR COUNCIL APPROVAL	REV	
No.	AMENDMENT	AUTH	DATE
CLIENT			
PROJECT FOOTING DESIGN FOR PROPOSED RESIDENCE			
SCALE		AS SHOWN	A3 ORIGINAL
DESIGNED:	SHEET No:		3 OF 4
DRAWN:	FILE No:		
APPROVED:			
FIRST ISSUED:			

**GENERAL NOTES**

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE CONTRACT DOCUMENTS & ARCHITECTURAL DRAWINGS. ANY DISCREPANCY SHALL BE REFERRED TO THE SUPERINTENDENT FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
  - ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
  - BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.
  - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT STANDARD AUSTRALIAN CODES AND THE REGULATIONS, BY-LAW AND POLICIES OF THE RELEVANT LOCAL AUTHORITY.
  - ALL SERVICES AND UTILITIES ON AND ADJACENT TO THE WORKS ARE TO BE LOCATED AND IDENTIFIED PRIOR TO THE COMMENCEMENT OF THE WORKS.
  - DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION WITH NO PART TO BE OVER STRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EXCAVATIONS STABLE AT ALL TIMES.
  - THE ENGINEER IS TO APPROVE, IN WRITING, THE SUBSTITUTION OF ANY MATERIAL OR ANY VARIATION TO BE CONSIDERED IN THE DESIGN.
- FOUNDATIONS**
- TYPICAL CONTAMINATING GRASS OR OTHER VEGETATION SHALL BE REMOVED FROM THE PROPOSED SLAB AREA. ALL EXISTING FILL, ROOTS, REFUSE ETC SHALL BE REMOVED FROM THE AREA WITH THE EXCEPTION OF APPROVED ENGINEERED FILL.
  - UNDER THE TERMS OF AS2870, THE FOUNDATION SOIL HAS BEEN CLASSIFIED AS PER THE TABLE ON SHEET 1. ACCORDINGLY, THE PERFORMANCE OF THE FOOTING SYSTEM CAN BE EXPECTED TO BE WITHIN THE RANGE SET OUT IN APPENDIX B, PROVIDED THAT THE FOOTINGS ARE PROPERLY MAINTAINED (SEE NOTE 01).
  - 300mm MINIMUM DEPTH OF COMPACTED GRANULAR FILL SHALL BE PLACED AS SHOWN ON THE PLANS AND EVERY 150mm COMPACTED IN MAX 200mm LAYERS TO THE STANDARD DRY DENSITY, CONTROLLED FILL IS TO EXTEND A MINIMUM OF 1m BEYOND THE EXTERNAL SLAB EDGE THEN BE BATTERED OUT 2 TO 1 TO NATURAL SURFACE.
  - IN SITU DENSITY TESTS ARE REQUIRED, QUANTITY AS SHOWN ON SCHEDULE ON SHEET 1. IF ANY TEST FAILS TO ACHIEVE SPECIFIED COMPLETION THE AREA REPRESENTED BY THE TEST SHALL BE REMOVED AND RETESTED UNTIL IT COMPLETES. TESTING SHALL COMPLY WITH AS1289 5.1.1 AND 5.4.1.
  - IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT TERMITE CONTROL MEASURES ARE MAINTAINED IN PROPER WORKING CONDITION, INCLUDING MAINTAINING SUFFICIENT CLEARANCE FROM EXPOSED EDGES FOR READY DETECTION OF TERMITES, AND REGULAR PEST INSPECTIONS.
  - FOOTINGS ARE TO BE CONSTRUCTED AND PLACED AS SOON AS POSSIBLE FOLLOWING EXCAVATION TO AVOID SOFTENING OR DRYING OUT BY EXPOSURE.

**REINFORCEMENT**

- SLAB REINFORCING MESH SHALL BE AS SHOWN WITH MINIMUM LAPS OF 2 END WIRES, AND MINIMUM COVER SPECIFIED ON SCHEDULE, SHEET 1. COVER TO BE MAINTAINED AT ALL REBARS AND SETWORKS.
- TRENCH BARS SHALL BE AS SHOWN WITH FULL OVERLAPS AT L AND T INTERSECTIONS, AND MINIMUM SPICE LAPS OF 500mm. TRENCH BARS SHALL HAVE A MINIMUM COVER OF 50mm.
- ALL REINFORCING MESH SHALL BE CLEAN AND FREE OF OIL, GREASE AND RUST.
- ALL STEEL TO BE GRADE 500MPa TO AS/NZS4671 UNLESS OTHERWISE NOTED.
- ALL REINFORCING MESH SHALL COMPLY WITH AS1303 AND AS1304, AND SHALL BE SUPPLIED IN FLAT SHEETS.
- REINFORCEMENT SHALL BE SUPPORTED BY APPROVED BMM CHAIRS TO OBTAIN THE COVERS NOTED. CHAIRS SHALL BE SPACED AT 1000 CENTRES MAX.

**DRAINAGE**

- THE SURROUNDING AREA SHALL BE SLOPED TO AVOID FLOODING OF WATER AGAINST OR NEAR THE BUILDING. THE GROUND SURFACE IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING, INCLUDING THE GROUND UPLIFT FROM THE SLAB ON CUT-AND-FILL SITES, SHALL BE GRADED TO FALL 500mm MINIMUM AWAY FROM THE FOOTING OVER A DISTANCE OF TEN PAVING SHALL ALSO BE SUFFICIENTLY SLOPED.
- ALTERNATIVE DRAINAGE SYSTEMS WILL BE REQUIRED ON ZERO LOT LINE CONSTRUCTION.

**CONCRETE**

- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPa, WITH AN 80MM SLUMP.
- ALL CONCRETE SHALL BE MECHANICALLY VIBRATED.
- THE CONCRETE SLAB SHALL BE CURED FOR 7 DAYS AFTER INITIAL SURFACE DRYING, BY COVERING WITH WATER PROOF MATERIAL, OR AN APPROVED CURING COMPOUND.
- ALL CONCRETE DESIGN, PLACING, VIBRATING AND CURING SHALL BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS1379, AS1000 AND AS2870.

**WATERPROOF MEMBRANE**

- 0.3MM POLYETHYLENE SHEETING SHALL BE PLACED UNDER THE ENTIRE SLAB AREA TO FORM A SECURE MOISTURE BARRIER.
- JOINTS IN POLYETHYLENE SHEETING SHALL BE CONTINUOUSLY TAPED.
- PENETRATION BY PIPES AND PLUMBING FITTINGS SHALL BE TAPED.
- MEMBRANE MAY BE TERMINATED 100mm FROM THE BOTTOM OF DEEP BEAM TRENCHES WHERE SPECIFIED BEAM DEPTH EXCEEDS 500mm.

**ARTICULATED BRICKWORK**

- GENERALLY ALL BRICKWORK SHALL BE ARTICULATED WITH FULL HEIGHT VERTICAL CONTROL JOINTS IN ACCORDANCE WITH THE CEMENT AND CONCRETE ASSOCIATION OF AUSTRALIA'S TECHNICAL NOTE 61 - ARTICULATED MASONRY.

**OWNERS RESPONSIBILITIES**

- THE FOOTINGS DETAIL ON THIS PLAN ARE DESIGNED IN ACCORDANCE WITH AS2870, WHILST ALL DUE CARE IS TAKEN DURING SITE CLASSIFICATION & DESIGN, ALL FOOTINGS ARE SUSCEPTIBLE TO GROUND MOVEMENTS, WHICH CAN CAUSE CRACKING IN THE STRUCTURE. THE ACCEPTABLE LIMITS OF WHICH ARE SET OUT IN AS2870 APPENDIX 8. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT ALL PLUMBING, DRAINAGE & SITE GRADING IS MAINTAINED. GARDENS & TREES MUST NOT BE PLACED OR MAINTAINED SUCH THAT MOISTURE CONDENSES IN THE FOUNDATION SOILS ARE EXPECTED. REFER TO CD90 BY 18 (FORMERLY INFORMATION SHEET 10/91) FOR FURTHER DETAILS. A COPY IS AVAILABLE FROM THIS OFFICE ON REQUEST.
- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT TERMITE CONTROL MEASURES ARE MAINTAINED IN PROPER WORKING CONDITION, INCLUDING MAINTAINING SUFFICIENT CLEARANCE FROM EXPOSED EDGES FOR READY DETECTION OF TERMITES, AND REGULAR PEST INSPECTIONS.

**PLUMBING**

- CLOSED-CELL POLYETHYLENE LAGGING SHALL BE USED AROUND ALL STORMWATER AND SEWER PIPE PENETRATIONS THROUGH EXTERNAL FOOTINGS. LAGGING SHALL BE A MINIMUM OF 20mm THICK ON CLASS B SITES AND 40mm THICK ON CLASS F SITES. SLEEVES ALLOWING EQUIVALENT MOVEMENTS MAY BE USED AS AN ALTERNATIVE. LAGGING IS NOT REQUIRED AROUND VERTICAL PENETRATIONS THROUGH SLAB PANELS.
- JOINTS IN PLUMBING PIPES WITHIN 3m OF THE HOUSE UNDER CONSTRUCTION SHALL BE ARTICULATED TO ACCOMMODATE GROUND MOVEMENTS WITHOUT LEAKAGE.

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PROJECT FOOTING DESIGN FOR PROPOSED RESIDENCE			
SCALE		AS SHOWN	A3 ORIGINAL
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