



GLEN INNES SEVERN COUNCIL

PO Box 61, Glen Innes, 2370

Ph: 02 6730 2350

Development Application Guide for Domestic Dwellings

This Development Application Guide has been designed to assist you in the preparation and submission of an Application to build a dwelling. It is designed to help ensure that all relevant information is submitted so that your application can be assessed as quickly as possible.

When do I need a Development Approval?

If you want to do building work on your property such as erecting a new building or increasing existing floor space by adding or extending, you will need to lodge an application to carry out the development. This applies in all areas of Glen Innes Severn Council local Government Area.

Applications are required so that Council may determine whether the proposal is appropriate use of the site according to its zoning, and complies with the provisions of the Environmental Planning and Assessment Act 1979. The Act also requires Council to ensure the project complies with the Building Code of Australia and has no adverse impact upon occupants of adjacent properties in the locality.

Generally speaking, ALL building work requires approval from Council.

There are two approvals required for most work and they are in the form of a **Development Consent** and a **Construction Certificate**. A Development Application is for planning approval of the project, while the Construction Certificate deals with the technical aspects.

If you do not wish to seek immediate approval for the construction work, then a Development Application only should be submitted. The Construction Certificate application may be submitted later.

Many types of straightforward residential development may be covered by a **Complying Development Consent**. If you are unsure if your project is Complying or not, please consult Council's Department of Development and Environmental Services for advice.

There are some exceptions to these rules for minor development that is exempt. Please contact Council's Department of Development and Environmental Services if you think your project may be exempt.

For simplicity, throughout this Guideline, all types of Development Approval, including Construction Certificate and Complying Development, will be referred to as a Development Application (DA).

What information is needed to accompany an application?

Always required:

- A Development Application and Construction Certificate or Complying Development Application form (available from Council), correctly filled out and signed by all owners of the site.
- BASIX certificate.
- 3 copies of all plans and specifications.
- Structural details endorsed by an approved Practising Structural Engineer are required for reinforced concrete slabs, footings, frames and components such as bracing and tie-down.
- Copies of relevant permits. (eg, Owner Builders permit or Home Building Compensation cover).

Required depending on the project:

- Statement of Environmental Affects (Development Application only).
- 3 copies of A4 size plans of site and elevations for notification purposes (Development Application only).
- Separate Section 68 Local Government Act Application form for Plumbing and Drainage for developments where water supply, storm-water and sanitary drainage works are to be undertaken.
- Separate Septic Tank Application form for properties not connected to sewer.
- Bushfire assessment for bushfire prone properties (see attached details).
- Details of any proposed solid fuel heaters.
- Details of proposed termite barriers.
- Other plans and specifications such as soil tests, shadow diagrams, landscape plans and details of retaining walls may also be required.

When do I need Owner/Builder Permits and how do I obtain them?

- If domestic building work is to be undertaken by an owner/builder and the value of the building work is estimated to exceed \$10,000, an owner/builder permit must be obtained and a copy submitted to Council before the Construction Certificate can be released.
- If the value of work exceeds \$20,000 an owner/builder course must be completed through an accredited provider prior to obtaining the owner/builder permit. The permit can be obtained from the Department of Fair Trading.
- The course can be completed prior to the lodgement of your application to Council. The permit can be applied for once the Development Application has been submitted to Council and the DA or CDC number issued.

When is Home Owners Warranty Insurance Required?

Home Building Compensation Fund (HBCF), formerly known as home insurance warranty, is required if a licensed builder is carrying out the work and the value is over \$20,000. A copy of the Home Building Compensation (HBC) certificate must be submitted to Council prior to the issue of the Construction Certificate or Complying Development Certificate.

What is BASIX?

The NSW Government Building Sustainability Index (BASIX) is a web based planning tool designed to assess the potential performance of residential buildings against a range of sustainability indexes.

A BASIX Certificate identifies the sustainability features required to be incorporated in the building design. These features may include sustainable design elements such as rainwater tanks, 3 star rated showerheads and taps, native landscaping, heat pump, solar or gas hot water systems, roof eaves/awnings and wall/ceiling insulation.

You need a BASIX Certificate for all new residential buildings, residential alterations and additions valued at \$50,000 or more, and pools with a capacity of 40,000 litres or more.

The applicant is required to submit a BASIX Certificate with the development application or complying development certificate application.

The BASIX commitment must be indicated on the plans e.g. water tanks, clothes lines etc.

Applicants can generate a BASIX certificate only on the NSW Department of Planning BASIX website: <http://www.basix.nsw.gov.au/information/index.jsp> For more information, phone the BASIX help line on 1300 650 908.

What if my development is on Bush Fire Prone Land?

All developments on bushfire prone land are assessed in accordance with the NSW Government document titled "Planning for Bushfire Protection" available from www.rfs.nsw.gov.au.

Development applications for new dwellings or residential additions on bushfire prone land should be accompanied by a bushfire consultants report or a completed Bushfire Assessment Report which is available from Council if you wish to self assess.

This assessment will determine appropriate standards for distances to vegetation (called asset protection zones), construction standards, on site water storage and pump plus a variety of other matters.

Other Specialist Reports?

For certain developments, Council requires other specialist reports for issues such as geotechnical, flood, shadow diagrams and site contamination. Your consultant, architect or draftsman can advise you if these reports are required.

What level of detail should be provided on plans accompanying a Development Application?

IT IS ESSENTIAL FOR ALL PLANS SUBMITTED TO INDICATE A TITLE, SCALE, NORTH POINT (SITE PLAN ONLY) AND INCLUDE THE APPLICANTS NAME, ADDRESS OF THE DEVELOPMENT AND LOT/DP NUMBER.

Additional information required may include a statement of environmental effects, erosion and sediment control plan, landscaping plans and shadow diagrams.

BASIX commitments must be listed or otherwise indicated on the plans. Ensure that all BASIX commitments listed on the Certificate to be shown on the DA plans are on the plans and they all match.

Alterations and additions shall be clearly marked to distinguish existing and proposed work and shall be labeled accordingly.

All measurements shall be in SI units (metric).

Attached at the end of this Guideline are sample plans for a typical development, indicating the type of information required for Council to properly assess your project.

PLEASE NOTE, ILLEGIBLE APPLICATIONS, OR APPLICATIONS LODGED WITH PLANS DETAILED ON GRAPH PAPER, LINED PAPER OR IN PENCIL WILL NOT BE ACCEPTED.

Submitted plans should be A3 or larger and include:

1. Site plan

This plan is to convey the design concept and layout of the proposal and details to be shown must include:

- Site coverage depicting building envelopes, car parking driveways and all other built features
- Delineation of open space areas
- Schedule of calculations including site area, site coverage, floor areas and associated floor space ratios and private open space/landscape areas.
- For residential buildings/additions to be located on bushfire prone properties - slope of site, predominate vegetation type for 140 metres surrounding structure, distance of structure to trees/vegetation once cleared, location of Asset Protection Zones and a clear delineation of site access routes.

2. Site survey/analysis plan

This plan is for steep sites and sites where cut and fill is required. The plan must be prepared by a registered surveyor and include:

- Site boundaries and dimensions
- Contours or Australian Height Datum ground levels
- Natural drainage lines/water courses
- Existing services/easements
- Any geotechnical hazards or restricted development areas

- Location of existing buildings/structures
- Significant vegetation/topographical/street features

3. Floor plans

The internal layout of all buildings is to be illustrated on floor plans. Floor plans are to contain dimensions and floor areas for each room, window location and other relevant internal building details (preferred scale 1:100).

4. Elevations and relevant cross section

The external appearance of all sides of a building are to be illustrated on the elevations.

Details to be shown include:

- Preferred scale of 1:100
- All aspects of the building (i.e. north, south, east and west)
- Relationship of elevations to natural ground level indicating proposed cut and fill:
- Indication of materials and colours used in external finishes.
- Vertical section of building.
- Indicate height, design, construction and provision for fire safety and fire resistance (if any)
- If plans relate to alterations or additions plans should be coloured or otherwise marked to distinguish adequately the proposed alterations, rebuilding or modification.
- Height of finished floor level above finished ground level for buildings not on a slab

5. Structural plans for reinforced concrete/suspended slabs, steel structures etc.

Must be drawn and endorsed by an approved Practising Structural Engineer and comply with relevant Australian Standards and Codes.

6. Specifications

Specification of the building must:

- Describe the construction and materials of which the building is to be built and the method of drainage, power, sewerage and water supply
- Type of materials to be used (i.e. new or second hand etc).
- Fully comply with the Building Code of Australia.
- Details of compliance with Australian Standard 3959 – 1999 Construction of Buildings in bushfire prone areas should the residential structure be located in medium to extreme bushfire prone area.

Who should prepare plans to accompany the application?

In most cases the plans submitted with the application are to be prepared by suitably qualified persons including architects, surveyors and engineers where appropriate. Inaccurate or poorly

drawn plans lead to delays in processing of the application and in some instances, may result in refusal of the proposal.

What is the Estimated Cost of Work?

Estimate the value of building works. Provide the value of work as shown on the contract or quote. If an owner builder, the value needs to include an estimate of cost of materials plus a realistic valuation of labour. This estimated value is subject to check by Council.

What about site inspections?

A site inspection is carried out by the relevant Building and Development Officer as part of the assessment of your application. It is important to ensure that the location of the property is adequately described and easy to locate.

After my application is determined, how will I be advised?

You will be advised in writing of the determination of your application. If your application is granted consent then you will be sent a copy of the Development Consent including conditions of Consent and approved plans. Should your application be refused, a refusal notice will be sent advising you of the grounds of refusal.

In summary, your application package will include:

- Application form/s for the proposed development
- BASIX Certificate
- Owner Builder Permit OR Home Building Compensation cover.
- Plans of the development
- A Local Approval (sometimes called a Section 68 Application) for all plumbing, sanitary drainage and stormwater drainage associated with your project.

Further enquires:

Department of Development Planning & Regulatory Services

136 Church St

Glen Innes

Ph 02 6730 2350

PLEASE NOTE:

Building and engineering design is specialised and complex. Council officers can provide basic guidance and advice on your proposal, however detailed site investigations, research and complex technical advice is beyond the services provided by Council.

You may consider employing a consultant who can assist in preparing your application. Council officers cannot recommend consultants.

Example plans are included on the following pages.

Proposed Residence at:

For:

SCHEDULE OF DRAWINGS

DWG No.	TITLE
01	SCHEDULE & BASIX COMMITMENTS
02	SITE WORKS & DRAINAGE PLAN
03	CONCEPT LANDSCAPE PLAN
04	FLOOR PLAN
05	ELEVATIONS - NORTH & SOUTH
06	ELEVATIONS - EAST & WEST
07	SECTION & SPECIFICATION SUMMARY

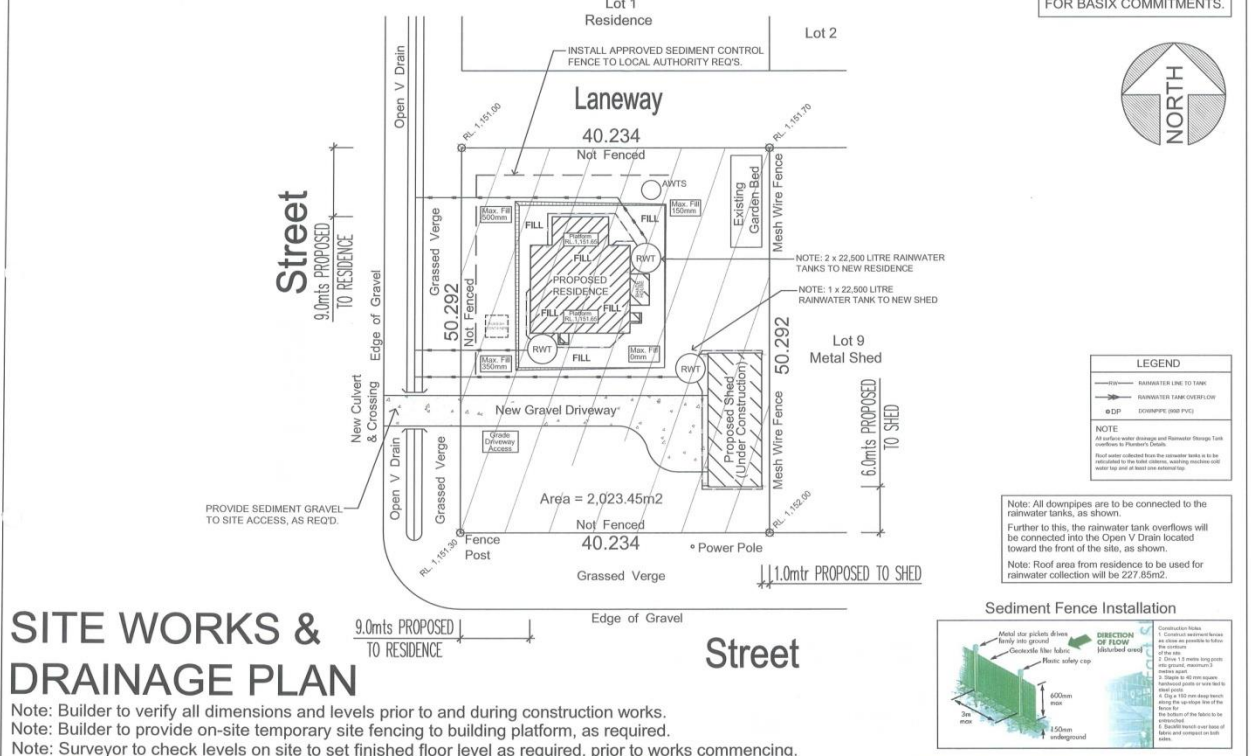
SUMMARY OF BASIX COMMITMENTS

Certificate Number:	Dated:			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the BASIX Certificate for Complete Details. For definitions refer to basix.nsw.gov.au				
Project Type				
Separate Dwelling House		Number of bedrooms - 3		
Site Details				
Site Area - 2,023.45 sq.m		This BASIX Certificate was done for the proposed residence only, note rainwater tank to shed separate.		
Roof Area - 227.85 sq.m				
Area of Garden and Lawn - 300.0 sq.m				
Water Commitments (Note to Plumber)				
Fixtures:				
3 Star Shower Heads		YES	3 Star Toilets	YES
3 Star Kitchen Taps		YES	3 Star Basin Taps	YES
Alternative Water:				
Rainwater Tank Size (L)		45,000	Collected from Roof Area (m2)	227.85 sq.m
Rainwater Tank Connected to:				
All Toilets		YES	All Indoor Taps	YES
One Outdoor Tap		YES	Hot Water System	YES
Thermal Comfort Commitments (Note to Builder)				
Construction:				
External Walls - Brick Veneer		Additional Insulation Required: R1.86 Batts & Foil (R2.40 Construction Combined)		
Ceiling and Roof		Ceiling: R2.55 (up), Roof: foil backed blanket (50mm)		
Windows - Standard Aluminium Framing, Single Clear to all windows.				
Windows - Obscure Glazed to Bath & Ens. Double Glazing is optional to all windows.				
Sliding Doors - Standard Aluminium, Single Clear Sunroom & Lounge.				
External Doors - Timber Framing, Frosted Glass to Kitchen & Laundry.				
External Doors - Clear Glass to Study, Double Glazing is optional to all doors.				
Energy Commitments (Note to Builder)				
Hot Water		Rheem Integrity 26 - LP Gas Instantaneous		6-Star
Cooling System		Living	N/A	
		Bedrooms	N/A	
Heating System		Living	N/A	
		Bedrooms	N/A	
Note: At least 2 Gas Bayonet Heating points are being provided to the living areas only.				
Ventilation		Bathroom	Individual fan, not ducted	
		Kitchen	Individual fan, not ducted	
		Laundry	Natural ventilation	
Natural Lighting		Window/Skylight in Kitchen	YES	
		Window/Skylight in Bathroom/Toilets	YES	
Artificial Lighting (to rooms to be serviced by fluorescent or LED lights)		Number of Bedrooms	4	Dedicated YES
		Number of Living/Dining Rooms	2	Dedicated YES
		Bathroom	YES	Dedicated YES
		All Bathrooms/Toilets	YES	Dedicated YES
		Laundry	YES	Dedicated YES
Other Commitments		All Hallways	YES	Dedicated YES
Outdoor Clothes Line		YES	Ventilated refrigerator space	YES
Stove/Oven		Gas Cooktop and Electric Oven		

These plans are subject to the local planning, copyright and are the exclusive property of C. No unauthorised copying in part or full without written consent is permitted.	Builder is to verify all levels, heights and details prior to the works commencing. Contact the Council with any questions. Locate all electrical, mechanical and plumbing services. Check all water and sewerage to avoid any damage and as directed by the Council Health Officer. All materials and methods of construction are to comply with the Building Code of Australia. Standards Approved by Australian Council and Local Government Requirements. Do not make changes. Figure dimensions take precedence over written notes.	FOR ALL YOUR QUALITY BUILDING DESIGN, DRAFTING & CONSULTING SERVICES.	PROJECT: Proposed Single Storey Residence	Sheet: A3	COUNCIL: Glen Innes Severn	Custom Residence SCALE: NTS	SHEET: 1 of 12
			CLIENT:	ADDRESS:	JOB No: DRAWN:	DATE: 11/11/09	CHECKED:

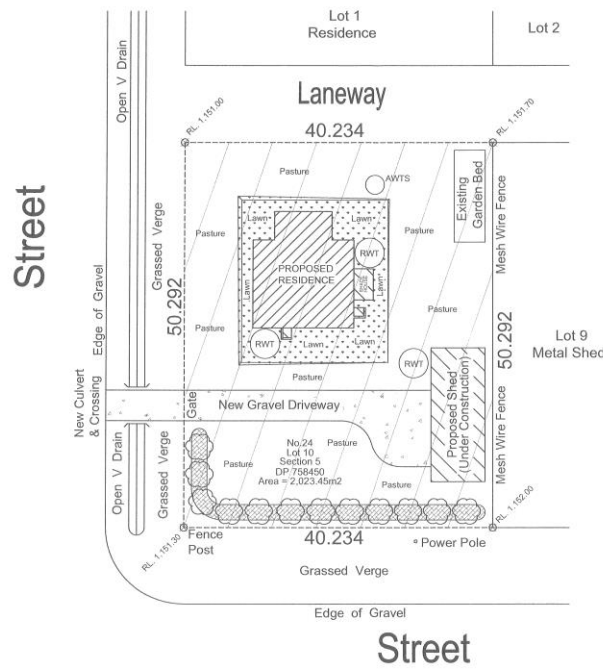
Note: Council to refer to separate approval for AWTS details and disposal area.

NOTE: REFER TO SHEET 1 FOR BASIX COMMITMENTS.



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			CLIENT:	ADDRESS:	JOB No: 2009037	DATE: 11/11/09	CHECKED:

Note: Proposed Gravel Driveway shown is diagrammatic only and maybe be changed to suit the owner's requirements.



NOTE: REFER TO SHEET 1 FOR BASIX COMMITMENTS.

Note: Owner to provide all driveway and path areas, landscaped garden beds and lawn areas and also an external clothes line all to comply with the BASIX Certificate.
The Owner to provide a new letter box to the Campbell Street driveway.
Note: Refer above for the lawn and landscaped garden areas for BASIX Commitments.

Note: All downpipes are to be connected to the rainwater tanks, as shown.
Further to this, the rainwater tank overflows will be connected into the Open V Drain located toward the front of the site, as shown.
Note: Roof area from residence to be used for rainwater collection will be 227.85m².

SCHEDULE OF AREAS	
OPEN LANDSCAPED AREA	
NEW SOFT LANDSCAPED AREA - 50.00m ²	
LAWN AREA - 250.00m ²	
PASTURE AREA - 1,018.00m ²	
TOTAL LANDSCAPED AREA - 1,318.00m ² - 143.26sq	
SITE AREA - 2,023.45m ² - 219.94sq	
Driveway & Paths - 180.00m ² - 19.56sq	
Cross-Over - 40.00m ² - 4.35sq	

LANDSCAPING LEGEND

- Selected Low Maintenance Screen Planting (By Owner)
- New Lawn Areas (By Owner)
- Decorative Pavers/Gravel Areas (By Owner)
- Landscaped Garden Beds (By Owner)
- 800mm High Wire Mesh Fencing & Metal Gates (By Owner)
- 2 x 22,500 Litre Rainwater Tanks to Residence (By Builder) (Collection Area to be all of the roof area = 227.85m²)

NOTE: Clothes Line to have a minimum of 20 metres of line by Owner (well mounted or built type, location to be confirmed)

CONCEPT LANDSCAPE PLAN

Note: Builder is to use low maintenance / indigenous variety plants / trees subject to availability of species indicated & to comply with the BASIX Certificate.

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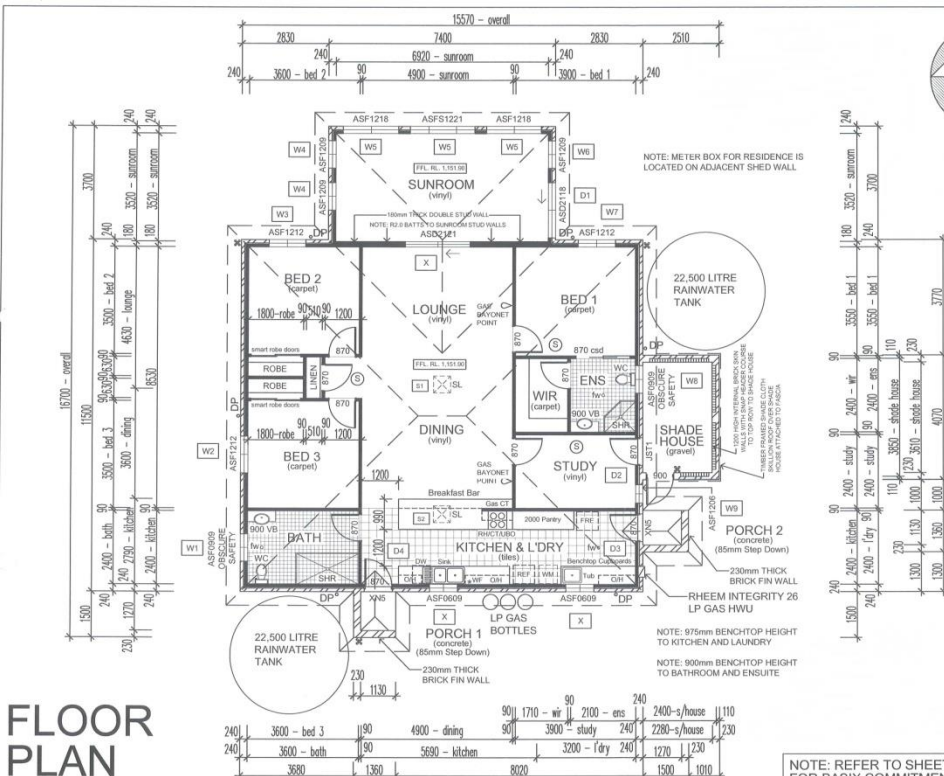


FOR ALL YOUR QUALITY BUILDING DESIGN, DRAFTING & CONSULTING SERVICES.

PROJECT: Proposed Single Storey Residence
CLIENT:
ADDRESS:

Sheet: A3

COUNCIL: Glen Innes Severn
JOB No: 2009037
DRAWN:
Custome Residence
SCALE: 1:400
DATE:
CHECKED:
SHEET: 3 of 12



- Legend:
- TBC - Timber Beam Over
 - DP - Downpipe
 - MCJ - Masonry Control Joint
 - MB - Meter Box
 - HWU - Hot Water Unit
 - CH - Ceiling Height
 - FW - Floor Waste
 - SHR - Shower
 - WC - Water Closet
 - VB - Vanity Basin
 - TUB - Laundry Tub
 - WM - Washing Machine Space
 - CT - Cook Top (Gas)
 - RH - Range Hood
 - UBO - Under Bench Oven
 - O/H - Overhead Cupboards
 - WF - Water Filter
 - DW - Dishwasher
 - REF - Refrigerator Space
 - Window or Door not used in BASIX Certificate
 - Window Number used in BASIX Certificate
 - Door Number used in BASIX Certificate
 - Skylight Number used in BASIX Certificate
 - External Yard Tap
 - Smoke Detector

SMOKE DETECTOR(S) TO CEILING TO BE HARDWIRED IN ACCORDANCE WITH PART 6.1.7 OF THE BUILDING CODE OF AUSTRALIA.
PROVIDE A NET AREA WATER PROOFING SYSTEM TO BATHROOM ENSUITE AND LAUNDRY IN ACCORDANCE WITH PART 6.1.7 OF THE BUILDING CODE OF AUSTRALIA.
PROVIDE MECHANICAL VENTILATION TO BATHROOM AND ENSUITE IN ACCORDANCE WITH THE BCA A/R 1 LOCAL AUTHORITY REQS.
NOTE: HOT WATER UNIT SHALL BE INSTALLED WITH A TEMPERATURE LIMITING VALVE AND IS TO COMPLY WITH AS 3558 - 1994.
PROVIDE LIFT OFF HINGES TO WC DOORS IN ACCORDANCE WITH THE BCA A/R 1 LOCAL AUTHORITY REQS.
LOCATION OF HOT WATER UNIT, LP GAS BOTTLES & ELECTRICAL METER BOX TO BE DETERMINED ON SITE BY BUILDER & APPROPRIATE AUTHORITY.
PLUMBER TO VERIFY WITH BUILDER THE LOCATION OF ALL DOWNPIPES, RAINWATER TANKS & OTHER SERVICES PRIOR TO DURING CONSTRUCTION WORKS.
FRAME & TRUSS MANUFACTURER TO CHECK & VERIFY ALL DIMENSIONS PRIOR TO MANUFACTURING & ASSEMBLY.

SCHEDULE OF AREAS	
LIVING - 149.77m ²	
PORCH 1 - 2.04m ²	
PORCH 2 - 2.04m ²	
SUNROOM - 27.79m ²	
SHADE HOUSE - 10.21m ²	
TOTAL FLOOR AREA - 191.85m ² - 20.85sq	
TOTAL ROOF AREA - 227.85m ² - 24.77sq	
WINDOW GLAZING AREA - 28.22m ² - 3.06sq	
CONDITIONED FLOOR AREA - 121.0m ² - 13.15sq	
UNCONDITIONED FLOOR AREA - 14.0m ² - 1.52sq	

FLOOR PLAN

Note: Builder to verify all dimensions and levels prior to and during construction works.

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FOR ALL YOUR QUALITY BUILDING DESIGN, DRAFTING & CONSULTING SERVICES.

PROJECT: Proposed Single Storey Residence
CLIENT:
ADDRESS:

Sheet: A3

COUNCIL: Glen Innes Severn
JOB No: 2009037
DRAWN:
Custome Residence
SCALE: 1:100
DATE:
CHECKED:
SHEET: 4 of 12



Note: Builder to verify all dimensions and levels prior to and during construction works.

WEST ELEVATION - FRONT



Note: Builder to verify all dimensions and levels prior to and during construction works.

DATE: 6 of 12

A.	ISSUED FOR COUNCIL APPROVAL	REV	
No.	AMENDMENT	AUTH	DATE
CLIENT			
PROJECT			
<p style="text-align: center;">FOOTING DESIGN FOR PROPOSED RESIDENCE</p>			
SCALE		A3 ORIGINAL	
AS SHOWN			
DESIGNED:		SHEET No:	
DRAWN:		2 OF 4	
APPROVED:		FILE No.:	
FIRST ISSUED:			

GENERAL NOTES		ARTICULATED BRICKWORK	
01 THESE DRAWINGS SHALL BE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS & ARCHITECTURAL STANDARDS. ANY DISCREPANCY SHALL BE REFERRED TO THE SUPERINTENDENT FOR A DECISION BEFORE PROCEEDING WITH THE WORK.		A) GENERALLY ALL BRICKWORK SHALL BE ARTICULATED WITH FULL HEIGHT VERTICAL CONTROL JOINTS IN ACCORDANCE WITH THE CEILING AND CONCRETE ASSOCIATION OF AUSTRALIA'S TECHNICAL NOTE G1 - ARTICULATED MASONRY.	
02 ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.		OWNERS RESPONSIBILITIES	
03 BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE STRUCTURAL DRAWINGS.		01 THE FOOTINGS DETAILLED ON THIS PLAN ARE DESIGNED IN ACCORDANCE WITH AS2601, WHIST ALL DUE CARE IS TAKEN DURING SITE CLASSIFICATION & DESIGN, ALL FOOTINGS ARE "SUCCESIBLE" TO GROUND MOVEMENTS WHICH CAN CAUSE CRACKING IN THE STRUCTURE, THE ACCEPTABLE LIMITS OF WHICH ARE SET OUT IN AS2601 APPENDIX B. IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT ALL PLUMBING, DRAINAGE & SITE GRADING IS MAINTAINED. GARDENS & TREES MUST NOT BE PLACED OR MAINTAINED SUCH THAT MOISTURE CONDITIONS IN THE FOUNDATION SOLLS ARE EFFECTED. REFER TO CHIRO DT 18 (FORMERLY INFORMATION SHEET 10/01) FOR FURTHER DETAILS. A COPY IS AVAILABLE FROM THIS OFFICE ON REQUEST.	
04 ALL WORMHARMING AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT STANDARD AUSTRALIAN CODES AND THE REGULATIONS, BY-LAWS AND POLICES OF THE RELEVANT LOCAL AUTHORITY		02 IF THE OWNERS RESPONSIBILITY TO ENSURE THAT TEMPORARY CONTROL MEASURES ARE MAINTAINED IN PROPER WORKING CONDITION, INCLUDING MAINTAINING SUFFICIENT CLEARANCE FROM EXPOSED EDGES FOR READY DETECTION OF TERMITES, AND REGULAR PEST INSPECTIONS.	
05 ALL SERVICES AND UTILITIES ON AND ADJACENT TO THE WORKS ARE TO BE LOCATED AND IDENTIFIED PRIOR TO THE COMMENCEMENT OF THE WORKS.		PLUMBING	
06 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION WITH NO PART TO BE OVER STRESSED. TEMPORARY BRACING OR SUPPORT SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS AND EQUIPMENTS STABLE AT ALL TIMES.		F1 CLOSED-CELL POLYETHYLENE LAGGING SHALL BE USED AROUND ALL STORMWATER AND SENIOR PIPE PENETRATIONS THROUGH EXTERNAL FOOTINGS. LAGGING SHALL BE A MINIMUM OF 20mm THICK ON GLASS H STEEL AND 40mm THICK ON CLASS II STEEL. SLEEVES ALLOWING EQUIVALENT MOVEMENT MAY BE USED AS AN ALTERNATIVE. LAGGING IS NOT REQUIRED AROUND SMALL PENETRATIONS THROUGH SLAB PANELS.	
07 THE ENGINEER IS TO APPROVE, IN WRITING, THE SUBSTITUTION OF ANY MATERIAL OR ANY VARIATION TO BE CONSIDERED IN THE DESIGN.		F2 JOINTS IN PLUMBING PIPES WITHIN 3m OF THE HOUSE UNDER CONSTRUCTION SHALL BE ARTICULATED TO ACCOMMODATE GROUND MOVEMENTS WITHOUT LEAKAGE.	
FOUNDATIONS			
F1 TOPSOIL CONTAINING GRASS OR OTHER VEGETATION SHALL BE REMOVED FROM THE PROPOSED SLAB AREA. A COVERED FALL HOISTS REFUSE, ETC SHALL BE REMOVED FROM THE AREA WITH THE EXCEPTION OF APPROVED ENGINEERED FILL.			
F2 UNDER THE TERMS OF AS2601, THE FOUNDATION SOIL HAS BEEN CLASSIFIED AS PER THE TABLE ON SHEET I. ACCORDINGLY, THE PERFORMANCE OF THE FOOTING SYSTEM CAN BE EXPECTED TO BE WITHIN THE RANGE SET OUT IN APPENDIX B PROVIDED THAT THE FOOTINGS ARE PROPERLY MAINTAINED (SEE NOTE 01).			
F3 300mm MINIMUM DEPTH OF COMPACTED GRANULAR FILL SHALL BE PLACED AS SHOWN ON THE PLANS AND EXPOSED SURFACES IN MAX 200mm LAYERS TO FORM 200mm TYPICAL DENSITY. CONTROLLED FILL IS TO EXTEND A MINIMUM OF 1m BEYOND THE EXTERNAL SLAB EDGE THEN BE BATTERED OUT 2 TO 1 FILL TO NATURAL SURFACE.			
F4 IN SITU DENSITY TESTS ARE REQUIRED, QUANTITY AS SHOWN ON SCHEDULE ON SHT 1 IF ANY TEST FAILS TO ACHIEVE SPECIFIED COMPACTION THE AREA REPRESENTED BY THE TEST SHALL BE REMOVED AND RETESTED UNTIL IT COMPLETS. TESTING SHALL COMPLY WITH AS1300 5.1.1 AND 5.4.1.			
F5 IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT TERMITE CONTROL MEASURES ARE MAINTAINED IN PROPER WORKING CONDITION, INCLUDING MAINTAINING SUFFICIENT CLEARANCE FROM EXPOSED EDGES FOR READY DETECTION OF TERMITES, AND REGULAR PEST INSPECTIONS.			
F6 FOOTINGS ARE TO BE CONSTRUCTED AND PLACED AS SOON AS POSSIBLE FOLLOWING EXCAVATION TO AVOID SORTERING OR DRYING OUT BY EXPOSURE.			
REINFORCEMENT			
R1 SLAB REINFORCING MESH SHALL BE AS SHOWN WITH MINIMUM LAPS OF 2 END WIRES, AND MINIMUM COVER SPECIFIED ON SCHEDULE, SHT 1. COVER TO BE MAINTAINED AT ALL REDBATES AND SETBACKS.			
R2 TRENCH BARS SHALL BE AS SHOWN WITH FULL OVERLAPS AT L AND T INTERSECTIONS, AND MINIMUM SPACE LAPS OF 300mm. TRENCH BARS SHALL HAVE A MINIMUM COVER OF 30mm.			
R3 ALL REINFORCING MESH SHALL BE CLEAN AND FREE OF OIL, GREASE AND RUST.			
R4 ALL STEEL TO BE GRADE 500MPA TO AS/NZS4671 UNLESS OTHERWISE NOTED.			
R5 ALL REINFORCING MESH SHALL COMPLY WITH AS1303 AND AS1304, AND SHALL BE SUPPLIED IN FLAT SHEETS.			
R6 REINFORCEMENT SHALL BE SUPPORTED BY APPROVED BAR CHAIRS TO OBTAIN THE COVERS NOTED. CHAIRS SHALL BE SPACED AT 1000 CENTIMES MAX.			
DRAINAGE			
D1 THE SURROUNDING GROUND SHALL BE SLOPED TO AVOID POONDING OF WATER AGAINST OR NEAR THE BUILDING. THE GROUND SURFACE IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING, INCLUDING THE SIDEWALK FROM THE SLAB ON GIR AND FILL, SHALL BE GRADED TO FELL 300mm MINIMUM AWAY FROM THE FOOTING OVER A DISTANCE OF 1m, FINISH SLOPE ALSO BE SUFFICIENTLY SLOPED.			
D2 ALTERNATIVE DRAINAGE SYSTEMS WILL BE REQUIRED ON ZERO LOT LINE CONSTRUCTION.			
CONCRETE			
C1 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 25 MPa, WITH AN ROBM SLUMP.			
C2 ALL CONCRETE SHALL BE MECHANICALLY VIBRATED.			
C3 THE CONCRETE SLAB SHALL BE CURED FOR 7 DAYS AFTER INITIAL SURFACE DRYING, BY COVERING WITH WATER PROOF MATERIAL, OR AN APPROVED CURING COMPOUND.			
C4 ALL CONCRETE DESIGN, PLACING, VIBRATING AND CURING SHALL BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AS1379, AS13600 AND AS2601.			
WATERPROOF MEMBRANE			
W1 0.3MM POLYETHYLENE SHEETING SHALL BE PLACED UNDER THE ENTIRE SLAB AREA TO FORM A SECURE MOISTURE BARRIER.			
W2 JOINTS IN POLYETHYLENE SHEETING SHALL BE CONTINUOUSLY TAPE.			
W3 PENETRATION BY PIPES AND PLUMBING FITTINGS SHALL BE TAPE.			
W4 MEMBRANE MAY BE TERMINATED 100mm FROM THE BOTTOM OF DEEP BEAM TRINCHES WHERE SPECIFIED BEAM DEPTH EXCEEDED 500mm.			

ISSUED FOR COUNCIL APPROVAL		REV	
No.	AMENDMENT	AUTH	DATE
CLIENT			
PROJECT			
FOOTING DESIGN FOR PROPOSED RESIDENCE			
SCALE			
AS SHOWN		A3 ORIGINAL	
DESIGNED:		SHEET No:	
DRAWN:		4 OF 4	
APPROVED:		FILE No:	
FIRST ISSUED:			